



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: February 8, 2022

REGARDING: 27225 Wixom Road, Parcel # 50-22-18-200-027 (PZ22-0002)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Catholic Central High School

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:

Single Family Residential

Location:

West of Wixom Road and South of Grand River Avenue

Parcel #:

50-22-18-200-027

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.1.2.D to allow an increase of building height to 44 feet at the west entry and 38.45 feet for the robotics room on the east side of a proposed addition to the school building. The remainder of the addition is less than the 35-foot maximum height required by code. This property is zoned Single Family Residential (R-1).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ22-0002**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because_____
_____.
 - (b) The property is unique because_____
_____.

- (c) Petitioner did not create the condition because_____.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.
- (e) The relief is consistent with the spirit and intent of the ordinance because_____.
- (f) The variance granted is subject to:
1. _____.
 2. _____.
 3. _____.
 4. _____.

2. I move that we **deny** the variance in Case No. **PZ22-0002**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because _____.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.
- (d) The variance would result in interference with the adjacent and surrounding properties by _____.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi

RECEIVED

JAN 04 2022

CITY OF NOVI
COMMUNITY DEVELOPMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$300.00</u>	
PROJECT NAME / SUBDIVISION Catholic Central High School STEM Addition				Meeting Date: <u>2-8-22</u>	
ADDRESS 27225 Wixom Rd., Novi, MI 48374		LOT/SIUTE/SPACE #		ZBA Case #: <u>PZ 22-0002</u>	
SIDWELL # 50-22-18 - 200 - 027		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY Wixom and Grand River					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS mwilson@catholiccentral.net		CELL PHONE NO. 248-790-3899	
NAME Michael Wilson, CFO				TELEPHONE NO. 248-596-3899	
ORGANIZATION/COMPANY Catholic Central High School				FAX NO.	
ADDRESS 27225 Wixom Rd.		CITY Novi		STATE MI	ZIP CODE 48374
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input checked="" type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.2.D</u>		Variance requested <u>Increase building height to max. 44 feet at west entry</u>			
2. Section _____		Variance requested <u>and 38'- 5 1/2" for the robotics building at the east</u>			
3. Section _____		Variance requested <u>side of the addition. Remainder of building is below</u>			
4. Section _____		Variance requested <u>the 35' maximum height.</u>			
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 					



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

☒ DIMENSIONAL ☐ USE ☐ SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

☐ CONSTRUCT NEW HOME/BUILDING ☐ ADDITION TO EXISTING HOME/BUILDING ☐ SIGNAGE

☐ ACCESSORY BUILDING ☐ USE ☐ OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

John W. Wilson
Applicant Signature

1-4-22
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

☐ GRANTED

☐ DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment. **Describe below:**

The lot shape is narrow. The lot has multiple zoning (RA, R-1 & R-4 One Family Residential, B-1 Local Commercial & I-1 Light Industrial)

OR

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

The parcel has a large State regulated wetlands as a constraint

OR

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

The abutting property is unique.

Adjoining Zoning to

North: City of Wixom north of 12 Mile Road. (RM-1 Low Density Multifamily)

East: RM-1 Low Density Multiple Family

West: RA Residential Acreage & R4 One-Family Residential

South: R-1 One-Family Residential

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The development goal is to create a Catholic higher education, college prep. campus with eclectic collegiate gothic architectural features and character which is on par with other notable college prep. campuses of the same style. The west entry massing is required to be prominent and evoke a religious character.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The proposed building is a STEM teaching facility. The necessary nature of robotics education is constantly evolving. The robotics massing, which exceeds the allowable height variance, requires a tall open volume for current and future robotics activities. The robotics massing is the first impression element upon entering the campus. The west entrance massing, which exceeds the allowable height, requires a religious character prominent in other notable Catholic college prep. campuses.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The height variance for the two elements stated above allow the entire building to have architectural variety which is a characteristic of similar Catholic college prep. campuses. Aside from these two special elements, the bulk of the STEM building will stay below the allowable height of 35'. The west entrance is proposed to be 44' and the north east robotics massing is proposed to be 38'- 5 1/2". The northeast massing will have a jet hanging from the trusses to encourage students and teachers to think relative to STEM in the future. The areas around the jet are at a height required for various indoor testing of robots and other future technology.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The proposed building setbacks far exceed the required setbacks:

front setback: proposed = 631' / minimum = 75' Wixom Rd.'

rear setback = 1,637' / minimum = 75'

side setback = 147' (north) and 778' (south) / minimum = 75'

The proposed building lot coverage is far below the allowable site coverage:
4.4% proposed lot coverage vs. 25% allowable

The west entrance is not visible from the surrounding properties as demonstrated by the attached exhibit.

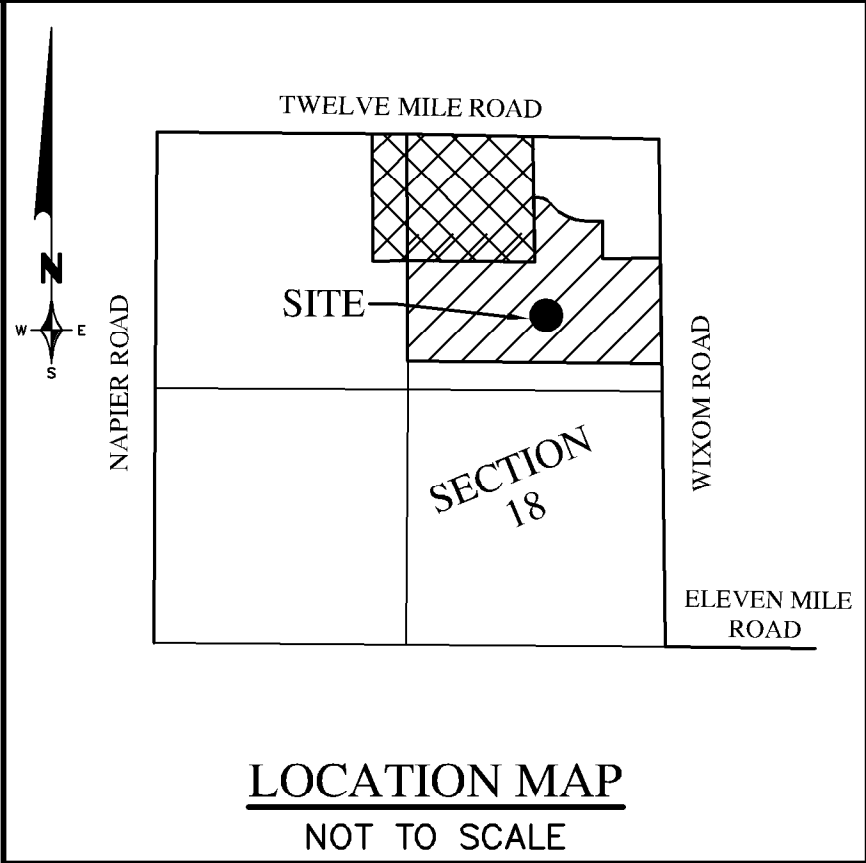
All RTUs have been screened and are screened by high quality materials (pitched slate tile roof)

The northeast element that exceeds the allowable height, the robotics arena, is the first impression element upon entering campus and is a glass box feature element.



PRELIMINARY SITE PLAN AND STORMWATER MANGEMENT PLAN FOR STEM ADDITION CATHOLIC CENTRAL HIGH SCHOOL SECTION 18, CITY OF NOVI, MICHIGAN

TAX I.D. NUMBER: 22-18-200-027



SHEET INDEX:

APPLICANT/OWNER:
CATHOLIC CENTRAL HIGH SCHOOL
27225 WIXOM ROAD
NOVI, MI 48374
PHONE: (248) 596-3899
CONTACT: MICHAEL WILSON

CIVIL ENGINEER/LAND SURVEYOR:
ZEIMET WOZNAK AND ASSOCIATES, INC.
55800 GRAND RIVER, SUITE 100
NEW HUDSON, MI 48165
PHONE: (248) 437-5099 FAX: (248) 437-5222
CONTACT: ANDY WOZNAK

WETLAND/WOODLAND CONSULTANT:
BARR ENGINEERING
3005 BOARDWALK DR.
ANN ARBOR, MI 48108
PHONE: (734) 922-440
CONTACT: WOODY HELD

LANDSCAPE ARCHITECT:
GRISSIM METZ ANDRIESE ASSOCIATES
15000 N. EDWARD HINES DRIVE
PLYMOUTH, MI 48170
PHONE: (248) 347-7010
CONTACT: RICH HOUDEK

ARCHITECT:
IDS
1441 WEST LONG LAKE, SUITE 200
TROY, MI 48068
PHONE: (248) 823-2100
CONTACT: BRUCE SNYDER

CONSTRUCTION MANAGER:
J.S. VIG CONSTRUCTION COMPANY
15040 CLEAT STREET
PLYMOUTH, MI 48170
PHONE: (734) 283-3002
CONTACT: JOSEPH S. VIG

CIVIL DRAWINGS:

- CE-1 - COVER SHEET
- CE-2 - EXISTING CONDITIONS
- CE-3 - REMOVALS AND DEMOLITION CONCEPT PLAN
- CE-4 - PAVING CONCEPT PLAN
- CE-5 - GRADING CONCEPT PLAN
- CE-6 - UTILITY CONCEPT PLAN
- CE-7 - EROSION CONTROL CONCEPT PLAN
- CE-8 - DRAINAGE CONDITIONS PLAN

ARCHITECTURAL DRAWINGS:

- S.A0.1 - COMPOSITE PLANS
- S.A1.1 - RENDERINGS
- S.A2.1 - FIRST FLOOR NEW WORK PLAN
- S.A2.2 - SECOND FLOOR NEW WORK PLAN
- S.A3.1 - EXTERIOR ELEVATIONS - OVERALL
- S.A3.2 - EXTERIOR ELEVATIONS - NORTH
- S.A3.3 - EXTERIOR ELEVATIONS - EAST & WEST
- S.A3.4 - EXTERIOR ELEVATIONS - COURTYARD

LANDSCAPING DRAWINGS:

- L101 - TREE REMOVALS PLAN
- L102 - TREE REMOVALS PLAN
- L201 - LANDSCAPE PLAN
- L202 - LANDSCAPE PLAN - COURTYARD ENLARGEMENT
- L203 - LANDSCAPE PLAN - WOODLAND REPLACEMENTS
- L301 - LANDSCAPE DETAILS

ELECTRICAL DRAWINGS:

- S.E5.01 - COMPOSITE ELECTRICAL SITE PLAN
- S.E5.02 - ELECTRICAL DEMOLITION SITE PLAN
- S.E5.03 - ELECTRICAL SITE LIGHTING PLAN

PHOTOMETRICS DRAWINGS:

- 1 OF 2 - PRELIMINARY SITE LIGHTING CALCULATIONS
- 2 OF 2 - PRELIMINARY SITE LIGHTING CALCULATIONS

OVERALL LEGAL DESCRIPTION:

PART OF THE NORTH 1/2 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE NORTH 1/4 CORNER OF SECTION 18 AND PROCEEDING ALONG THE NORTH LINE OF SAID SECTION 18, SAID LINE ALSO BEING THE CENTERLINE OF 12 MILE ROAD (33 FEET WIDE, 1/2 WIDTH) S. 88°55'17" E. 1316.65 FEET; THENCE THE FOLLOWING SEVEN (7) COURSES ALONG BERKSHIRE POINTE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2080, 1) S. 00°44'12" E. 630.03 FEET, 2) S. 89°31'51" E. 29.92 FEET, 3) 177.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 200.00 FEET, CENTRAL ANGLE 50°49'12" AND A CHORD THAT BEARS S. 64°07'16" E. 171.64 FEET, 4) 417.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 459.96 FEET, CENTRAL ANGLE 51°58'21" AND A CHORD THAT BEARS S. 64°41'50" E. 403.07 FEET, 5) N. 89°19'00" E. 165.00 FEET, 6) S. 00°41'00" E. 384.00 FEET AND 7) N. 89°19'00" E. 539.99 FEET TO A POINT ON THE 60 FOOT RIGHT OF WAY LINE OF WIXOM ROAD; THENCE ALONG SAID LINE S. 00°41'00" E. 1098.12 FEET TO A POINT ON THE NORTH LINE OF ISLAND LAKE VINEYARDS, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 1271; THENCE ALONG SAID LINE N. 89°23'05" W. 2585.76 FEET TO A POINT ON THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 18, ALSO BEING THE EAST LINE OF ANDELINA RIDGE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2063; THENCE ALONG SAID LINE N. 00°15'03" W. 1028.05 FEET; THENCE N. 89°31'51" W. 165.00 FEET; THENCE N. 00°15'03" W. 1320.00 FEET TO A POINT ON SAID NORTH LINE OF SECTION 18, ALSO BEING THE CENTERLINE OF 12 MILE ROAD; THENCE ALONG SAID LINE S. 89°31'51" E. 165.00 FEET TO SAID NORTH 1/4 CORNER OF SECTION 18 AND POINT OF BEGINNING CONTAINING 115.11 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD AND THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL AGENCY OVER WIXOM ROAD AND 12 MILE ROAD.

NOTE:

THESE PLANS ARE THE PROPERTY OF ZEIMET-WOZNAK & ASSOCIATES, INC. NO CONSTRUCTION STAKING OR CONSTRUCTION INSPECTION OR CONSTRUCTIVE USE OF THESE PLANS SHALL BE MADE BY ANYONE WITHOUT THE WRITTEN AUTHORIZATION BELOW.

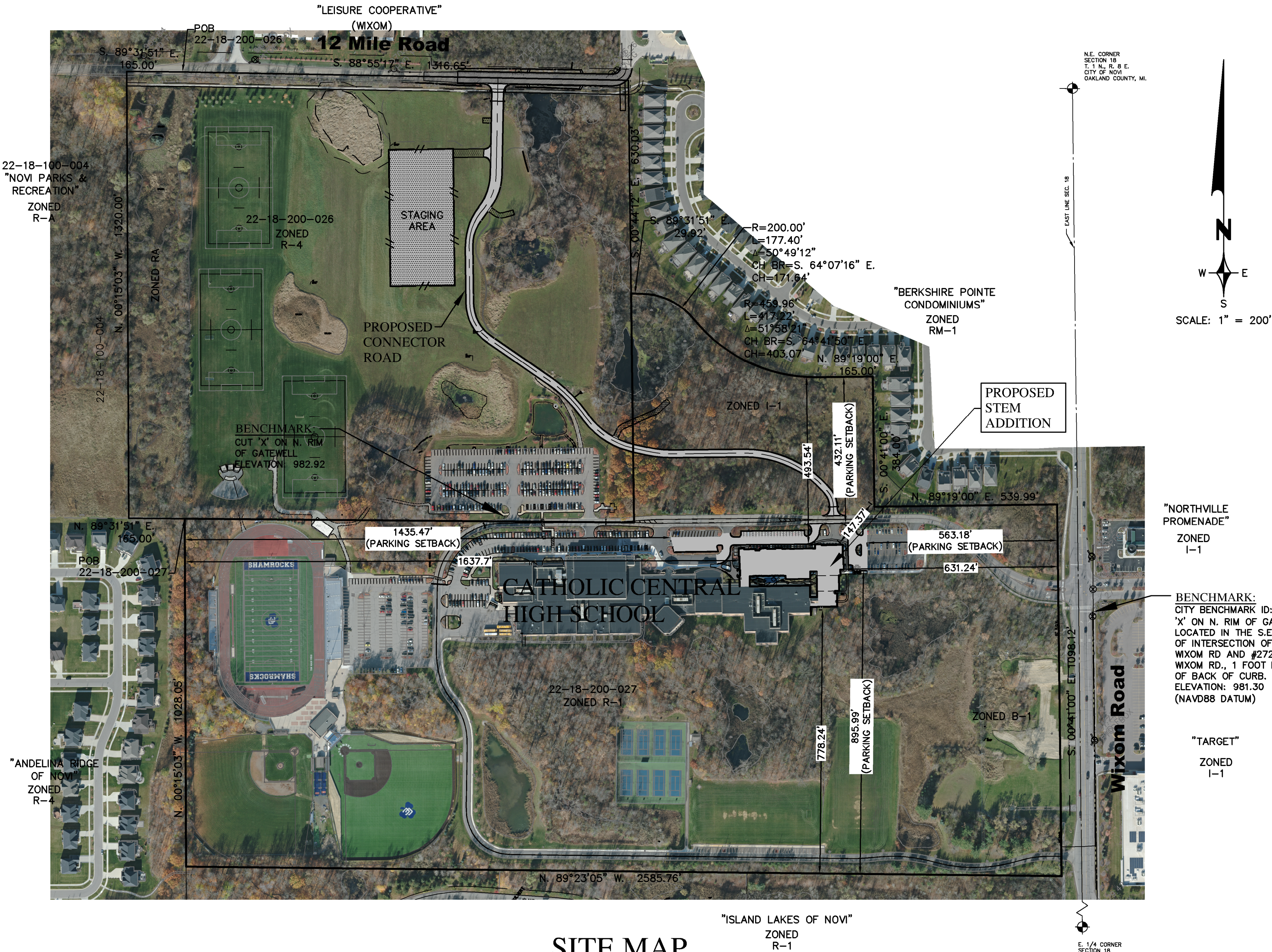
AUTHORIZATION BY:

ZEIMET-WOZNAK & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE, NOR SHALL ZEIMET-WOZNAK & ASSOCIATES, INC. BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER AND ENGINEER FROM ALL LIABILITIES FOR INJURY TO PERSONS, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OR EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.

ALL CONTRACTORS SHALL NAME ZEIMET-WOZNAK & ASSOCIATES, INC. AS ADDITIONALLY INSURED ON ALL INSURANCE POLICIES.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.



PARCEL 22-18-200-027 LEGAL DESCRIPTION:

PART OF THE NORTHEAST 1/4 OF SECTION 18, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS:

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 18 AND PROCEEDING ALONG THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 18, S. 00°15'03" E. 1320.00 FEET TO THE POINT OF BEGINNING; THENCE S. 89°31'51" E. 1327.47 FEET; THENCE N. 00°44'12" W. 676.15 FEET; THENCE S. 89°31'51" E. 29.92 FEET; THENCE 177.40 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 200.00 FEET, CENTRAL ANGLE 50°49'12" AND A CHORD THAT BEARS S. 64°07'16" E. 171.64 FEET; THENCE 417.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 459.96 FEET, CENTRAL ANGLE 51°58'21" AND A CHORD THAT BEARS S. 64°41'50" E. 403.07 FEET; THENCE N. 89°19'00" E. 165.00 FEET; THENCE S. 00°41'00" E. 384.00 FEET; THENCE N. 89°19'00" E. 539.99 FEET TO A POINT ON THE 60 FOOT RIGHT OF WAY LINE OF WIXOM ROAD; THENCE ALONG SAID LINE S. 00°41'00" E. 1098.12 FEET TO A POINT ON THE NORTH LINE OF ISLAND LAKE VINEYARDS, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 1271; THENCE ALONG SAID LINE N. 89°23'05" W. 2585.76 FEET TO A POINT ON THE EAST LINE OF ANDELINA RIDGE, OAKLAND COUNTY CONDOMINIUM PLAN NUMBER 2063; THENCE ALONG SAID LINE N. 00°15'03" W. 1028.05 FEET ALONG SAID NORTH-SOUTH 1/4 LINE TO THE POINT OF BEGINNING CONTAINING 70.27 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD AND THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL AGENCY OVER WIXOM ROAD.

SITE DEVELOPMENT NOTES:

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS AND STANDARD DETAILS OF THE CITY OF NOVI.
- CALL MISS DIG (1-800-647-7344 / 1-800-MISS DIG) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UNDERGROUND UTILITIES CAUSED BY HIS OPERATIONS.
- TRENCHES UNDER OR WITHIN 3 FT. OF EXISTING OR PROPOSED PAVEMENTS, DRIVEWAYS, AND/OR SIDEWALKS SHALL BE BACKFILLED AND COMPACTED WITH MDOT CLASS II SAND.
- WHERE UTILITIES CROSS, PROVIDE POROUS BACKFILL TAMPED IN 12" LAYERS TO THE UNDERSIDE OF THE HIGHER UTILITY. A 6" MIN. SAND CUSHION SHALL BE PROVIDED BETWEEN UTILITIES.
- ALL SEWER CONSTRUCTION SHALL HAVE MDOT CLASS II BEDDING UNLESS OTHERWISE SPECIFIED ON THE PROFILES.
- ALL ELEVATIONS SHOWN ARE BASED ON U.S.G.S. DATUM.
- ALL DISTURBED AREAS BE PROMPTLY RESTORED BY THE CONTRACTOR.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE EMERGENCY ACCESS TO PROPERTY FOR THE POLICE, FIRE DEPARTMENT, AMBULANCES OR OTHER EMERGENCY VEHICLES TO PROTECT LIFE, HEALTH AND PROPERTY.
- PAVED STREET AND DRIVEWAYS MUST BE MAINTAINED IN A REASONABLE STATE OF CLEANLINESS AND THE CONTRACTOR SHALL REMOVE ACCUMULATIONS OF DEBRIS CAUSED BY CONSTRUCTION OPERATIONS.
- CONTRACTOR MUST PROVIDE ALL NECESSARY SHEETING, SHORING, DEWATERING, BRACING, TRENCH BOXES, ETC. TO PERFORM WORK SAFELY AND PROTECT EXISTING UTILITIES AND IMPROVEMENTS IN ACCORDANCE TO MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (MIOSHA).

**NOT FOR
CONSTRUCTION**

ISSUED FOR	DATE	ISSUED FOR	DATE	ISSUED FOR	DATE	ISSUED FOR	DATE	ISSUED FOR	DATE
S.D. REVIEW	9/17/21								
PRE-APP SUBMITTAL	10/8/21								
PSP SUBMITTAL	11/5/21								

ZEIMET WOZNAK
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com

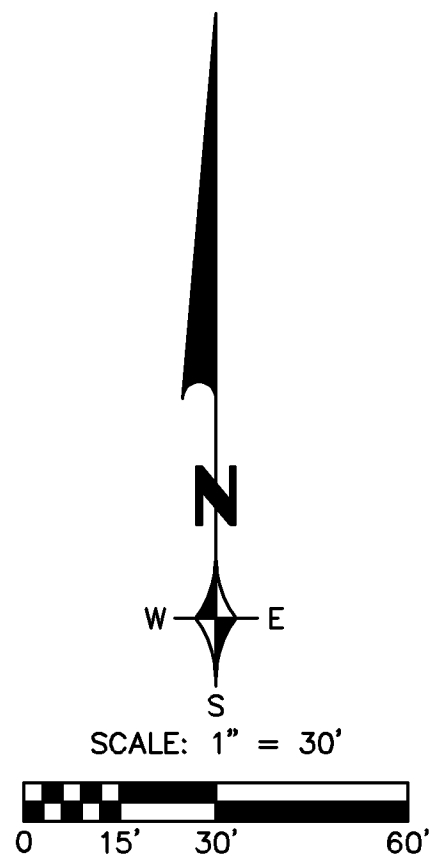
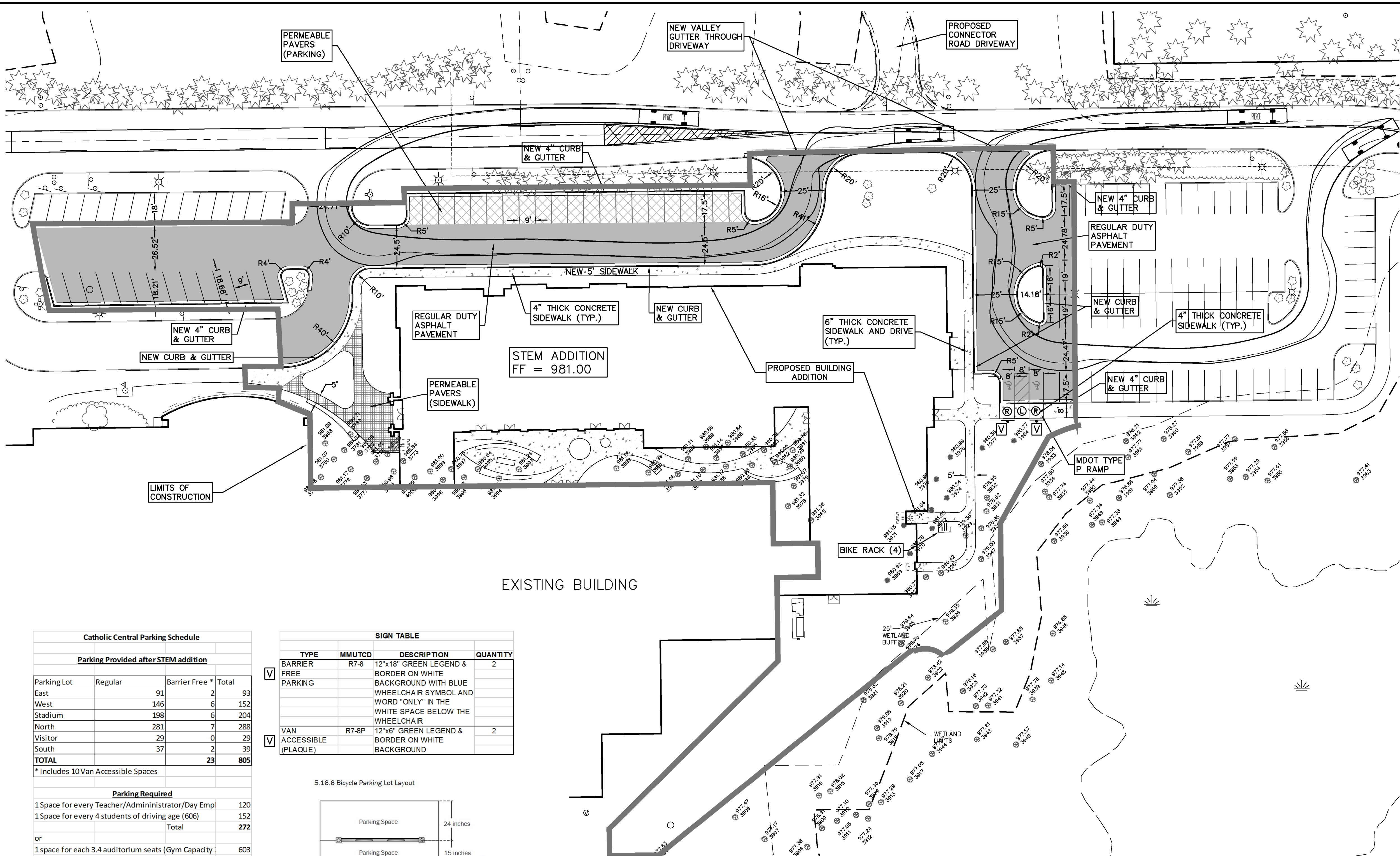
MISS DIG SYSTEM, INC.
1-800-482-7171
THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM

PROJECT SPONSOR:
CATHOLIC CENTRAL HIGH SCHOOL
27225 WIXOM ROAD
NOVI, MI 48374

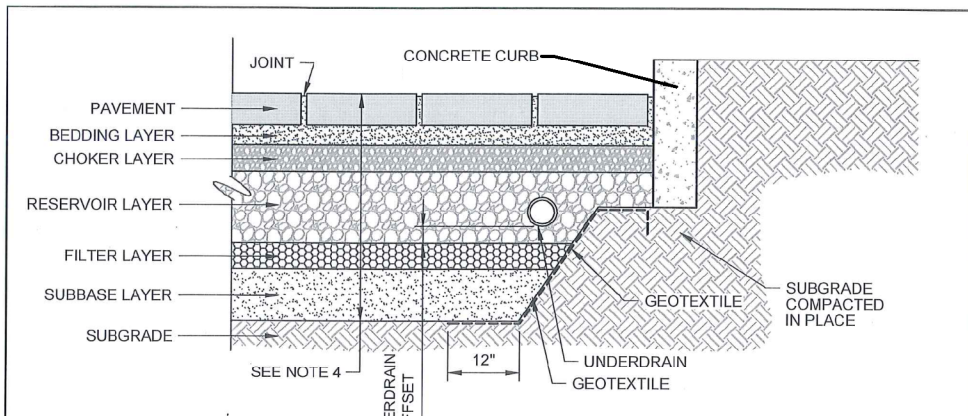
**COVER SHEET
STEM ADDITION**
NOVI, MICHIGAN

DATE	SCALE	HOR: 1" = 200'	VER: 1" = N/A
9/17/21			
DESIGNED BY	JWW	JOB NO.	19120.2
DRAWN BY	DAB	SHEET	CE-1

Z:\Projects\19120.2\19120.2 Site Plan.dwg, CE-4 PAVING CONCEPT PLAN, 11/5/2021, 12:31:17 PM, dambryer



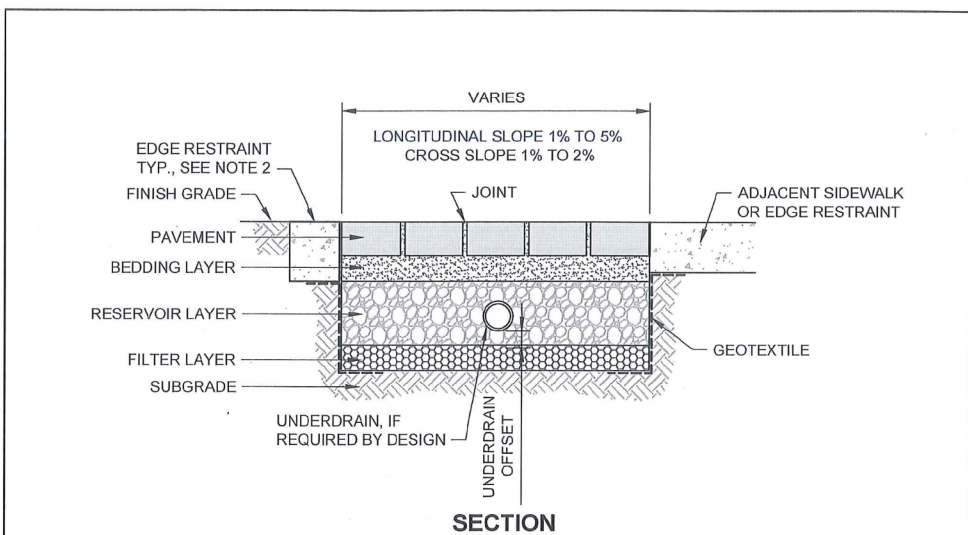
NOTE:
QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE ACTUAL SCOPE OF WORK IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.



ITEM	MATERIAL	LAYER THICKNESS
PAVEMENT	PERMEABLE INTERLOCKING UNIT PAVERS	3 INCH MIN.
BEDDING LAYER	MDOT 3G, OR ASHTO #4, OR APPROVED EQUIVALENT.	2 INCH
CHOKER LAYER	MDOT 6A, OR ASHTO #57, OR APPROVED EQUIVALENT.	4 INCH
RESERVOIR LAYER	MDOT 6A OR 6A, OR ASHTO #4, #57 OR APPROVED EQUIVALENT.	4 INCH
FILTER LAYER	MDOT 3G, OR ASHTO #4, OR APPROVED EQUIVALENT.	4 INCH
SUBBASE LAYER	MDOT CLASS 2	4 INCH
SUBGRADE	REFER TO SPECIFICATION FOR SUBGRADE PREPARATION. FOR SOFT SOILS, INSTALL GEOTEXTILE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.	
UNDERDRAIN	PERFORATED HDPE UNDERDRAIN WHEN CALLED FOR PER DESIGN PLANS. CLEANOUT AT TERMINAL ENDS. SEE DWG NO. G01, PIPE BEHIND AND CATCH BASIN CONNECTION. SEE DWG NO. G02.	6 INCH
UNDERDRAIN OFFSET	OFFSET DISTANCE UNDERDRAIN SET ABOVE THE FILTER LAYER.	... INCH
GEOTEXTILE	GEOTEXTILE CLASS 2, LOCATED ON SIDES OF FACILITY ONLY.	
JOINT	JOINT TO HAVE 10 INCH MAXIMUM GAP IN ACCORDANCE WITH THE LATEST ADA REQUIREMENTS AND TO BE FILLED WITH MDOT 3G, OR ASHTO #4, OR APPROVED EQUIVALENT. MINIMUM GAP SHALL BE 1/4 INCH OR PER MANUFACTURER'S RECOMMENDATIONS.	

- NOTES:
- SEE DWG NO. G10 FOR LONGITUDINAL AND CROSS SLOPE REQUIREMENTS.
 - GEOTEXTILE TO BE USED, ON SIDES ONLY, WHEN FACILITY IS WITHIN 10' OF ADJACENT BUILDINGS AND TO AVOID INFILTRATION AROUND UTILITIES. (SEE DESIGN PLANS).
 - CONCRETE CURB EDGE CONDITION IS SHOWN. SEE DWG NO. G13 FOR FLUSH CONCRETE EDGE RESTRAINT OPTION. ALUMINUM AND PLASTIC EDGE RESTRAINTS ARE NOT ALLOWED FOR VEHICULAR PAVEMENTS.
 - THE TOTAL DEPTH OF THE PAVEMENT SECTION (FROM FINISH GRADE OF PAVEMENT TO BOTTOM OF SUBBASE LAYER) SHALL BE A MINIMUM OF 30" (30" FROST DEPTH).

REV	DESCRIPTION	DATE
1	PERMEABLE INTERLOCKING UNIT PAVERS (ROADWAY, PARKING LOTS, AND ALLEY)	



ITEM	MATERIAL	LAYER THICKNESS
PAVEMENT	PERMEABLE UNIT PAVERS	2-3/8 INCH MIN.
BEDDING LAYER	MDOT 3G, OR ASHTO #4, OR APPROVED EQUIVALENT.	1-1/2 INCH
RESERVOIR LAYER	MDOT 6A, OR ASHTO #57, OR APPROVED EQUIVALENT.	4 INCH
FILTER LAYER	MDOT 3G, OR ASHTO #4, OR APPROVED EQUIVALENT.	4 INCH
UNDERDRAIN	PERFORATED HDPE UNDERDRAIN WHEN CALLED FOR PER DESIGN PLANS. CLEANOUT AT TERMINAL ENDS. SEE DWG NO. G01, PIPE BEHIND AND CATCH BASIN CONNECTION. SEE DWG NO. G02.	4 INCH
UNDERDRAIN OFFSET	OFFSET DISTANCE UNDERDRAIN SET ABOVE THE FILTER LAYER.	... INCH
GEOTEXTILE	GEOTEXTILE CLASS 2, LOCATED ON SIDES OF FACILITY ONLY.	
SUBGRADE	REFER TO SPECIFICATION FOR SUBGRADE PREPARATION. FOR SOFT SOILS, INSTALL GEOTEXTILE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.	
JOINT	JOINT TO HAVE 10 INCH MAXIMUM GAP IN ACCORDANCE WITH THE LATEST ADA REQUIREMENTS AND TO BE FILLED WITH MDOT 3G, OR ASHTO #4, OR APPROVED EQUIVALENT. MINIMUM GAP SHALL BE 1/4 INCH OR PER MANUFACTURER'S RECOMMENDATIONS.	

- NOTES:
- GEOTEXTILE TO BE USED WHEN FACILITY IS WITHIN 10' OF ADJACENT BUILDINGS AND TO AVOID INFILTRATION AROUND UTILITIES. (SEE DESIGN PLANS).
 - SEE DWG NO. G13 FOR PAVEMENT RESTRAINT OPTIONS.

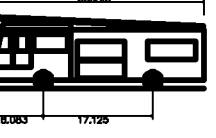
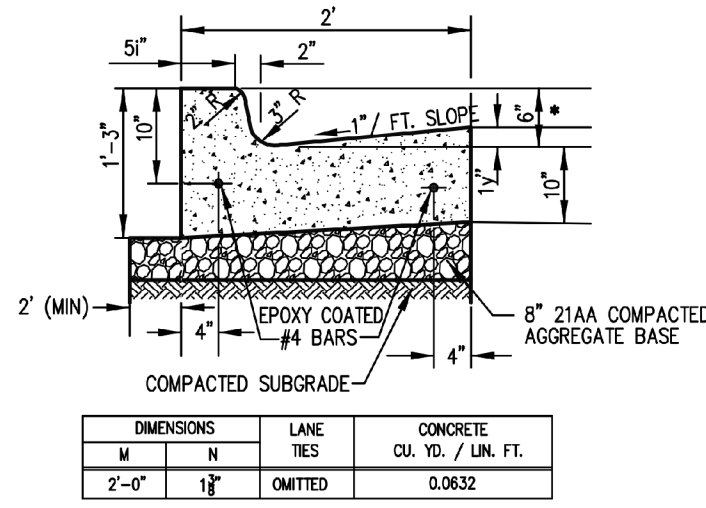
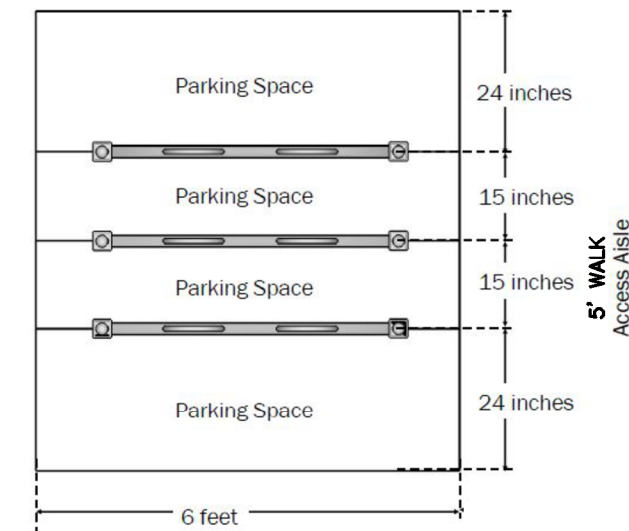
REV	DESCRIPTION	DATE
1	PERMEABLE UNIT PAVERS (SIDEWALK)	

GENERAL NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

Catholic Central Parking Schedule			
Parking Provided after STEM addition			
Parking Lot	Regular	Barrier Free *	Total
East	91	2	93
West	146	6	152
Stadium	198	6	204
North	281	7	288
Visitor	29	0	29
South	37	2	39
TOTAL		23	805
* Includes 10 Van Accessible Spaces			
Parking Required			
1 space for every Teacher/Administrator/Day Empl	120		
1 space for every 4 students of driving age (606)	152		
			272
or			
1 space for each 3.4 auditorium seats (Gym Capacity)	603		
1 space for every employee	120		
			723
Barrier Free Parking (2% of total)	15		
Includes 3 Van Accessible Spaces			

SIGN TABLE			
TYPE	MMUTCD	DESCRIPTION	QUANTITY
✓ BARRIER FREE PARKING	R7-8	12"x18" GREEN LEGEND & BORDER ON WHITE BACKGROUND WITH BLUE WHEELCHAIR SYMBOL AND WORD "ONLY" IN THE WHITE SPACE BELOW THE WHEELCHAIR	2
✓ VAN ACCESSIBLE (PLAQUE)	R7-8P	12"x8" GREEN LEGEND & BORDER ON WHITE BACKGROUND	2

5.16.6 Bicycle Parking Lot Layout



DESIGN VEHICLE
NOT TO SCALE

NOTE:
ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF WALK AS SHOWN.

NOTE:
CURB AT END OF 17' STALLS SHALL BE REDUCED TO 4\"/>

PAVEMENT LEGEND:

1.5\"/>

1.5\"/>

PREPARED SUBGRADE *

REGULAR DUTY BITUMINOUS ASPHALT
PAVEMENT PARKING LOT (23,099 S.F.)

4.0\"/>

CONCRETE SIDEWALK (7,927 S.F.)

PERMEABLE BRICK PAVERS PARKING (2,875 S.F.)
SEE DETAIL THIS SHEET

PERMEABLE BRICK PAVERS WALKWAYS (1,226 S.F.)
SEE DETAIL THIS SHEET

NOTE:
SUBGRADE SHALL BE PREPARED COMPACTED TO 95% MAXIMUM UNIT WEIGHT BEFORE PLACING CURB AND GUTTER AND AGGREGATE BASE IN ACCORDANCE WITH THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER.

NOT FOR
CONSTRUCTION

DATE	BY	REVISIONS
9/17/21	JW	S.D. REVIEW
10/8/21	JW	PRE-APP SUBMITTAL
11/5/21	JW	PSP SUBMITTAL

THREE FULL SIZES REQUIRED
CALL FOR MISS DWG SYSTEM
1-800-882-7171

ZIMET Wozniak
Civil Engineers & Land Surveyors
5580 GRAND RIVER AVE. SUITE 100
NOVI, MI 48374
P: (248) 437-2900 F: (248) 437-2322 WWW.ZIMETWAZ.COM

PROJECT SPONSOR:
CATHOLIC CENTRAL HIGH SCHOOL
27225 WYOM ROAD
NOVI, MI 48374

**PAVING CONCEPT PLAN
STEM ADDITION**
NOVI, MICHIGAN

DATE	DESIGNED BY	SCALE
9/17/21	N/A	1\"/>

HOR. NO. 19120.2
SHEET NO. CE-4

© COPYRIGHT 2021





STEM ADDITION NORTH EAST RENDERING - NTS



STEM ADDITION NORTH RENDERING - NTS



STEM ADDITION NORTH WEST RENDERING - NTS



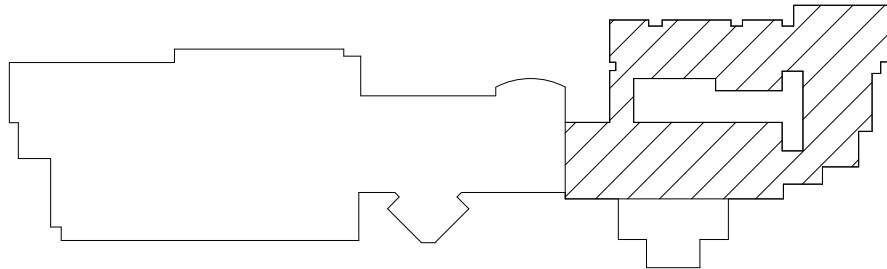
STEM ADDITION BIRD'S EYE RENDERING - NTS



Catholic Central High School
STEM Building Addition

27225 Wixom Rd.
Novi, MI 48374

Key Plan



Project Administrator	S. Moschelli
Project Designer	A. Latona/ N. Kothari
Project Architect / Engineer	M. Brown
Drawn By	L. Kulawczyk-Pringle
Q.M. Review	N. LaForest
Approved	B. Sundberg
Drawing Scale	As Noted

Issued for	Issue Date
Pre-App Submittal	10-08-21
PSP Submittal	11-05-21
ZBA Submittal	01-04-22

Renderings



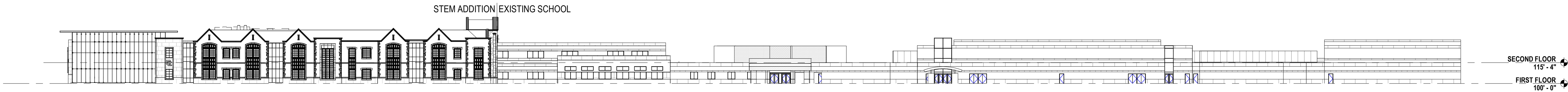
Catholic Central High School
STEM Building Addition

27225 Wixom Rd.
Novi, MI 48374

Key Plan



NORTH ELEVATION RENDERING - NTS



2 NORTH ELEVATION - OVERALL SCHOOL
S.A0.1 1" = 40'-0"

FASCIADE MATERIALS:
BRICK: 40%
LIMESTONE: 50%
FIELD STONE: 10%



1 NORTH ELEVATION - STEM ADDITION
S.A0.1 1/16" = 1'-0"

Project Administrator
S. Moschelli
Project Designer
A. Latona/ N. Kothari
Project Architect / Engineer
M. Brown
Drawn By
L. Kulawczyk-Pringle
Q.M. Review
N. LaForest
Approved
B. Sundberg
Drawing Scale
As Noted

Issued for	Issue Date
Pre-App Submittal	10-08-21
PSP Submittal	11-05-21
ZBA Submittal	01-04-22

© 2021 INTEGRATED design SOLUTIONS, LLC
IDS Drawing Title

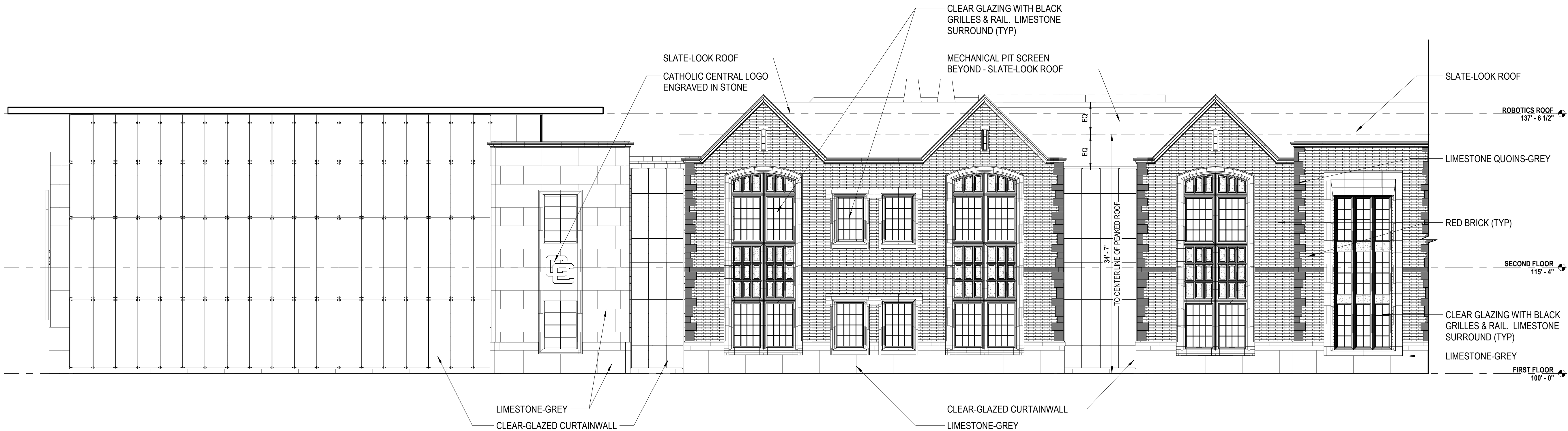
Exterior Elevations - Overall



Catholic Central High School
STEM Building Addition

27225 Wixom Rd.
Novi, MI 48374

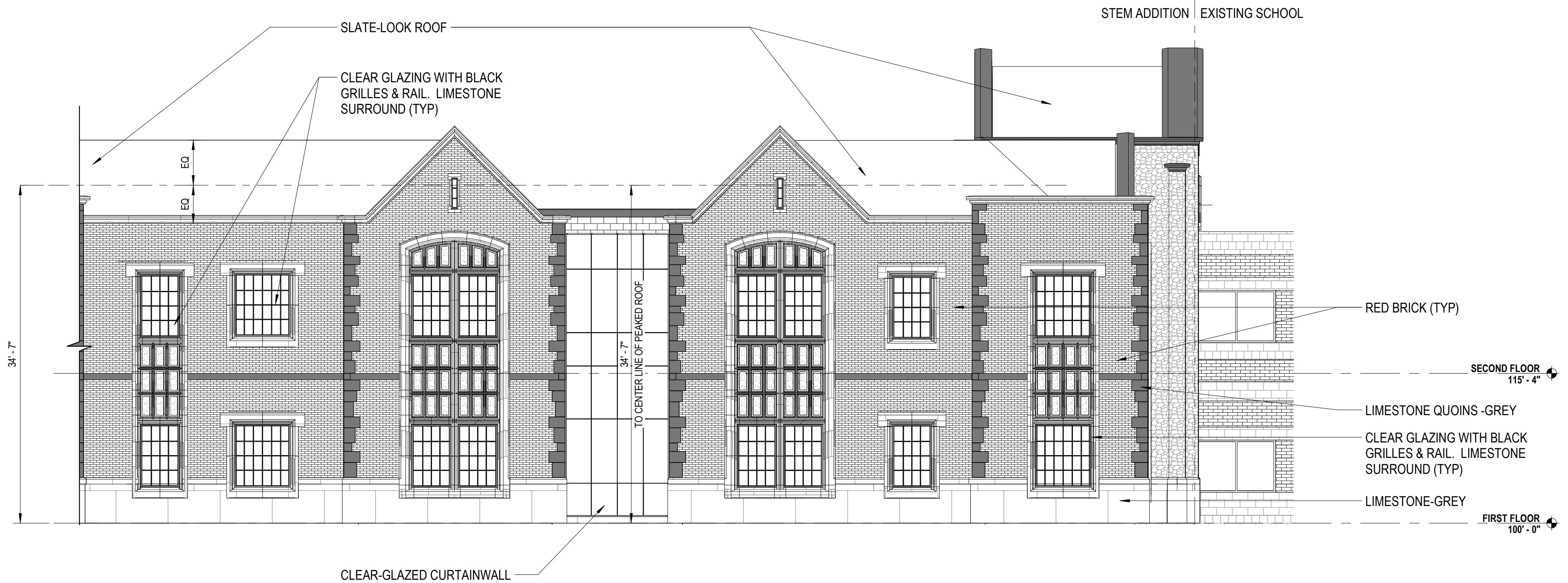
Key Plan



2

PARTIAL NORTH ELEVATION - EAST

1/8" = 1'-0"



1

PARTIAL NORTH ELEVATION - WEST

1/8" = 1'-0"

Project Administrator

S. Moschelli

Project Designer

A. Latona/ N. Kothari

Project Architect / Engineer

M. Brown

Drawn By

L. Kulawczyk-Pringle

Q.M. Review

N. LaForest

Approved

B. Sundberg

Drawing Scale

As Noted

Issued for Issue Date

Pre-App Submittal 10-08-21

PSP Submittal 11-05-21

ZBA Submittal 01-04-22

© 2021 INTEGRATED design SOLUTIONS, LLC

IDS Drawing Title

Exterior Elevations - North

IDS Project Number

19200-3000

Drawing Number

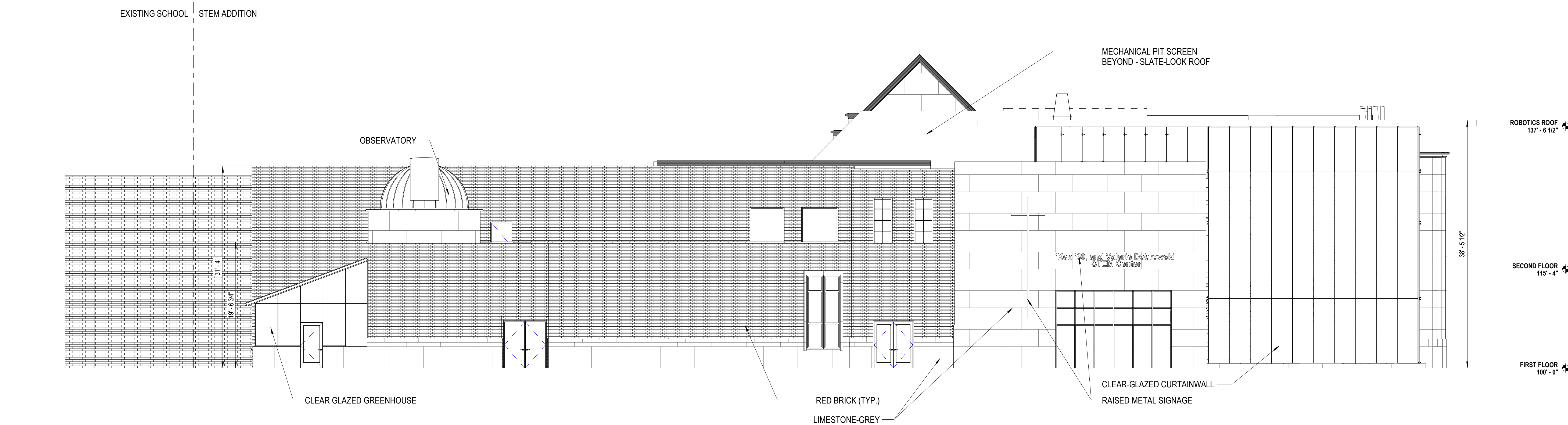
S.A3.2



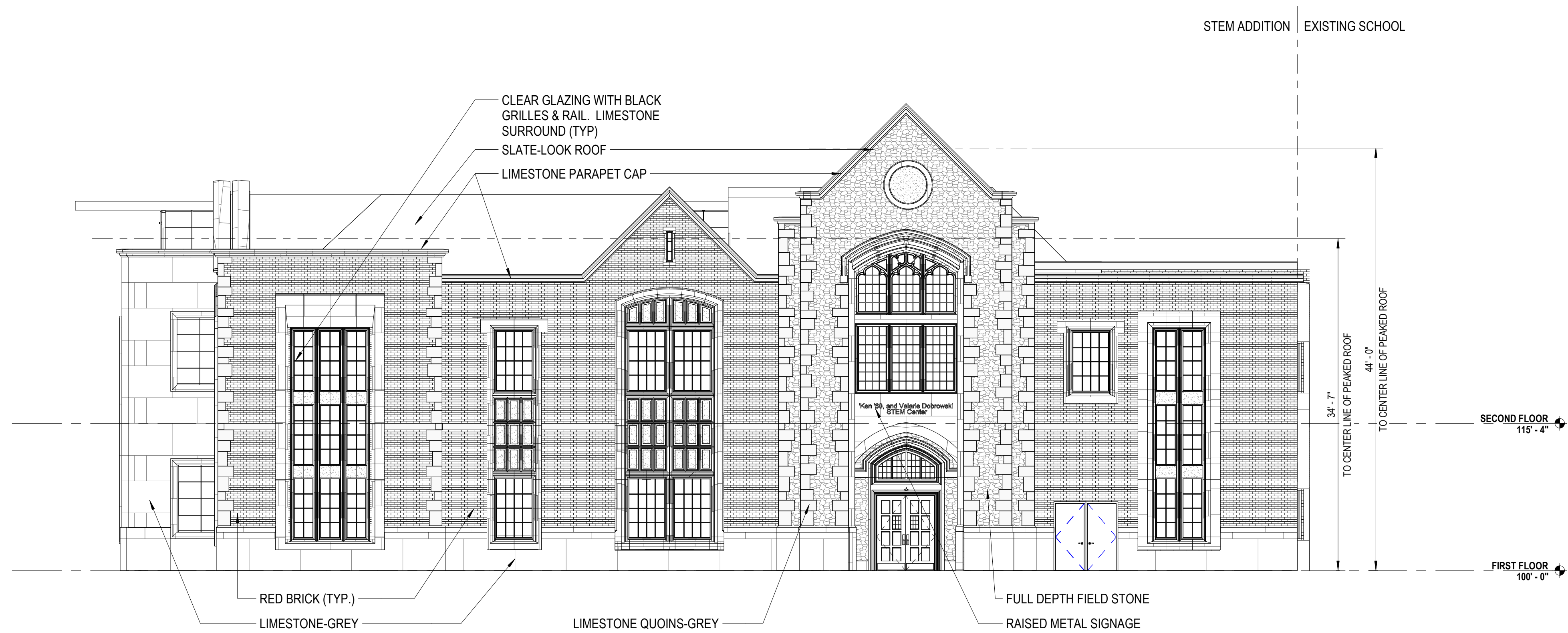
Catholic Central High School
STEM Building Addition

27225 Wixom Rd.
Novi, MI 48374

Key Plan



2 EAST ELEVATION
S.A0.1 1/8" = 1'-0"



1 WEST ELEVATION
S.A0.1 1/8" = 1'-0"

Project Administrator
S. Moschelli
Project Designer
A. Latona/ N. Kothari
Project Architect / Engineer
M. Brown
Drawn By
L. Kulawczyk-Pringle
Q.M. Review
N. LaForest
Approved
B. Sundberg
Drawing Scale
As Noted

Issued for	Issue Date
Pre-App Submittal	10-08-21
PSP Submittal	11-05-21
ZBA Submittal	01-04-22

© 2021 INTEGRATED design SOLUTIONS, LLC
IDS Drawing Title

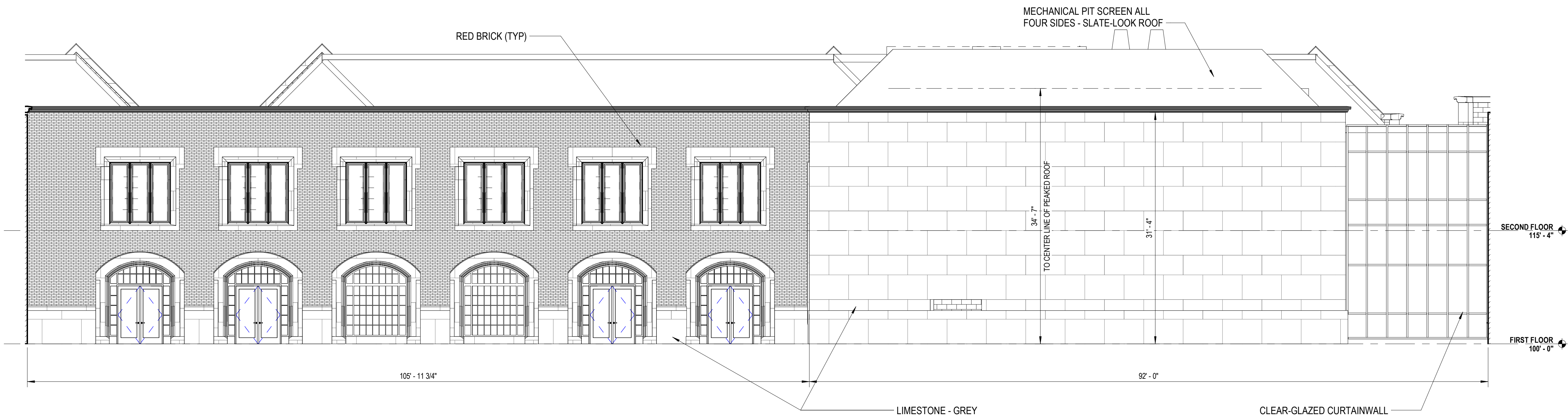
Exterior Elevations - East & West



Catholic Central High School
STEM Building Addition

27225 Wixom Rd.
Novi, MI 48374

Key Plan



Project Administrator
S. Moschelli
Project Designer
A. Latona/ N. Kothari
Project Architect / Engineer
M. Brown
Drawn By
L. Kulawczyk-Pringle
Q.M. Review
N. LaForest
Approved
B. Sundberg
Drawing Scale
As Noted

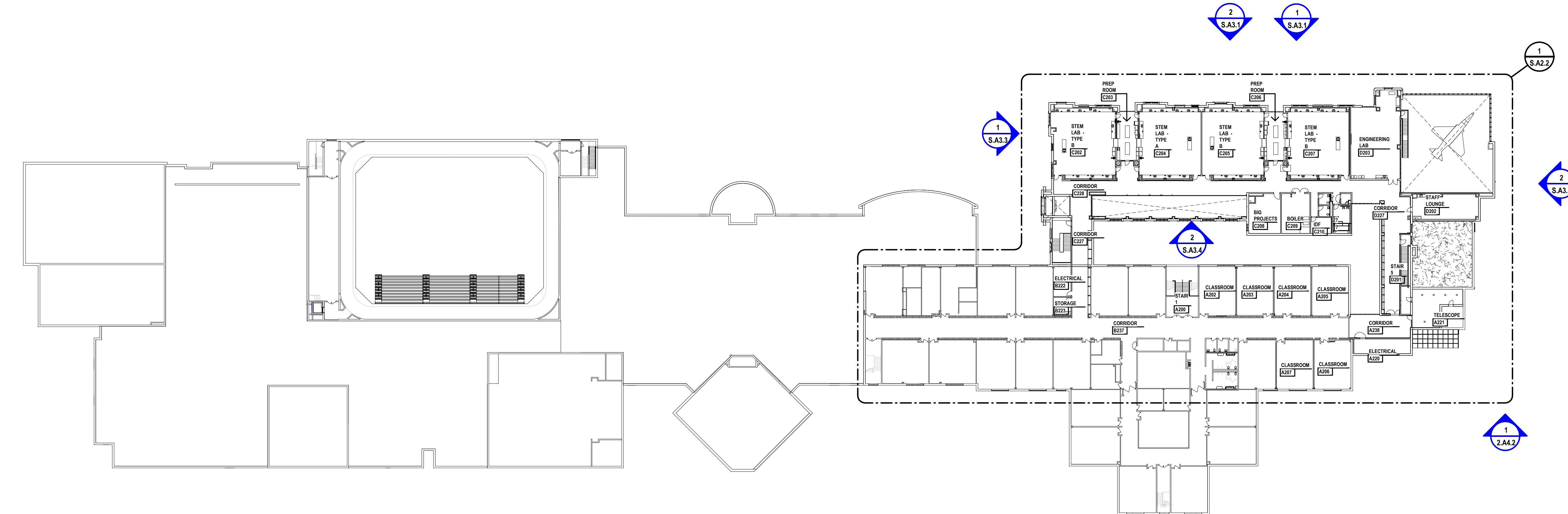
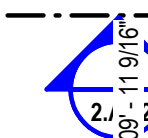
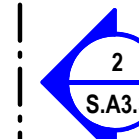
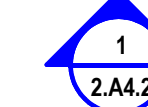
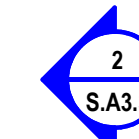
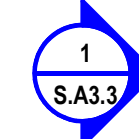
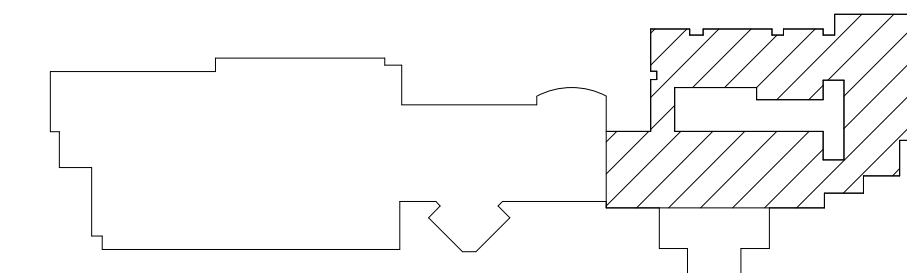
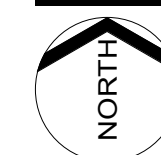
Issued for	Issue Date
Pre-App Submittal	10-08-21
PSP Submittal	11-05-21
ZBA Submittal	01-04-22

© 2021 INTEGRATED design SOLUTIONS, LLC

IDS Drawing Title

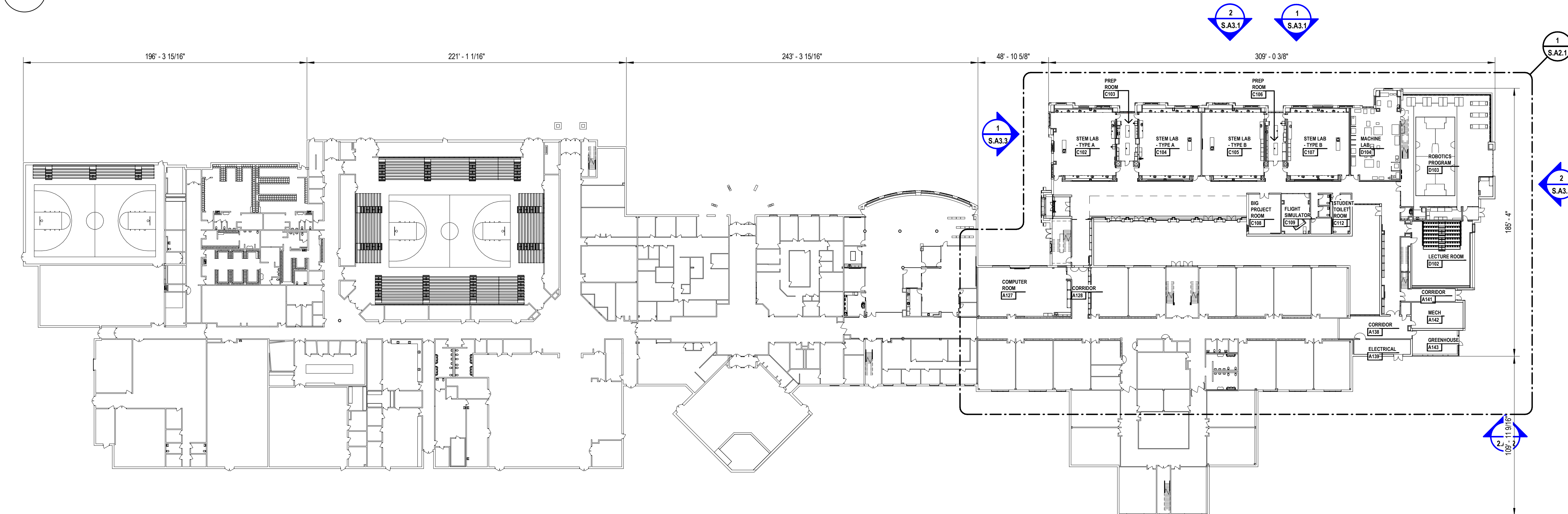
Exterior Elevations - Courtyard

2 SOUTH ELEVATION - COURTYARD
S.A0.1 1/8" = 1'-0"



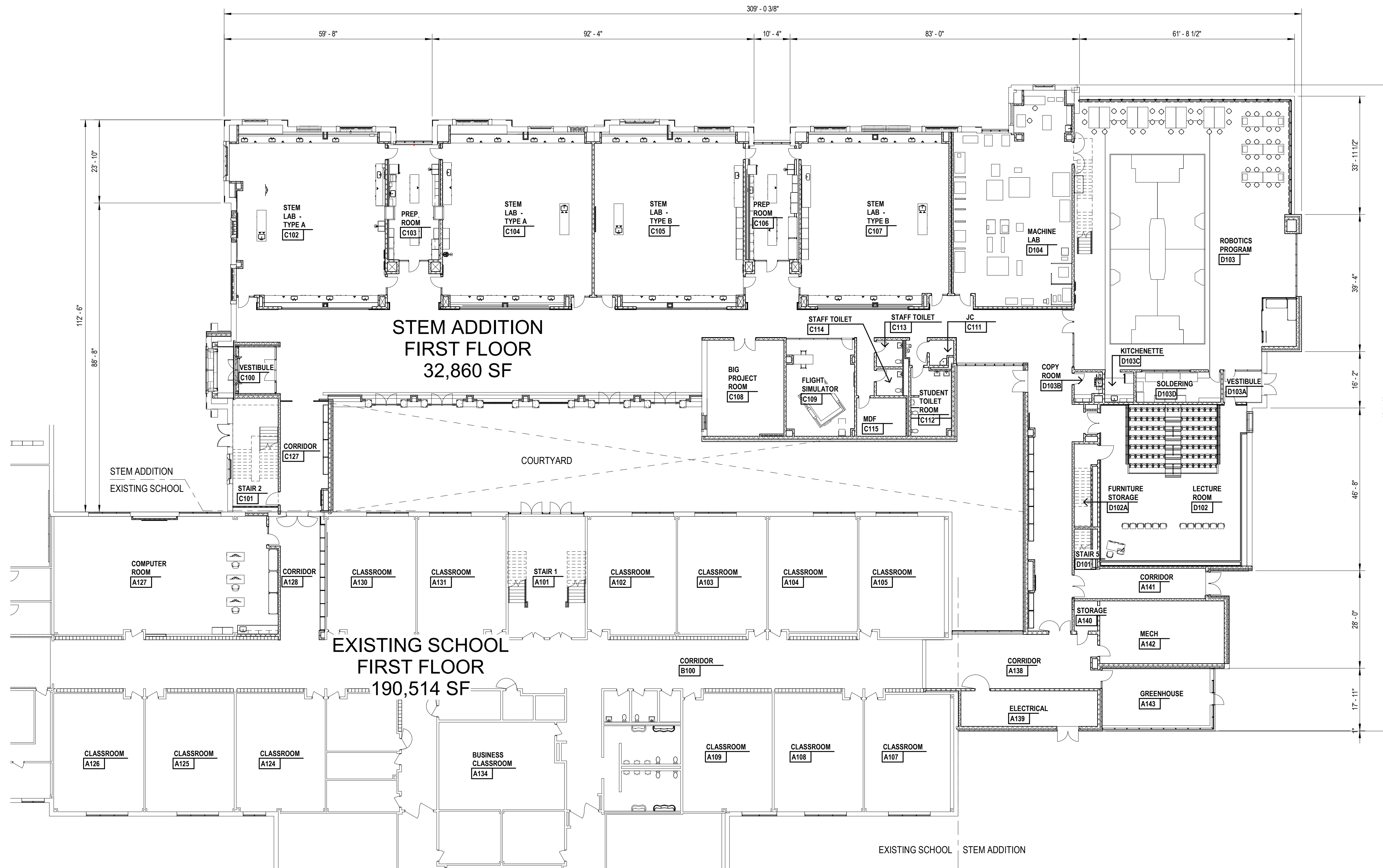
2 SECOND FLOOR COMPOSITE PLAN

1" = 40'-0"



1 FIRST FLOOR COMPOSITE PLAN

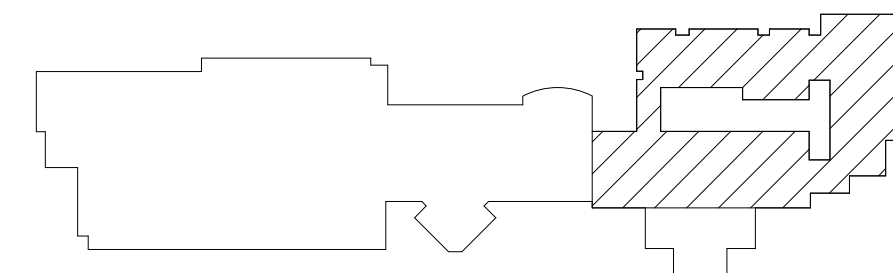
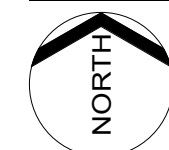
1" = 40'-0"



Project Title

Catholic Central High School
STEM Building Addition27225 Wixom Rd.
Novi, MI 48374

Key Plan



Project Administrator

S. Moschelli

Project Designer

A. Latona/ N. Kothari

Project Architect / Engineer

M. Brown

Drawn By

L. Kulawczyk-Pringle

Q.M. Review

N. LaForest

Approved

B. Sundberg

Drawing Scale

As Noted

Issued for

Issue Date

Pre-App Submittal

10-08-21

PSP Submittal

11-05-21

ZBA Submittal

01-04-22

© 2021 INTEGRATED design SOLUTIONS, LLC

IDS Drawing Title

First Floor New Work Plan

IDS Project Number

Drawing Number

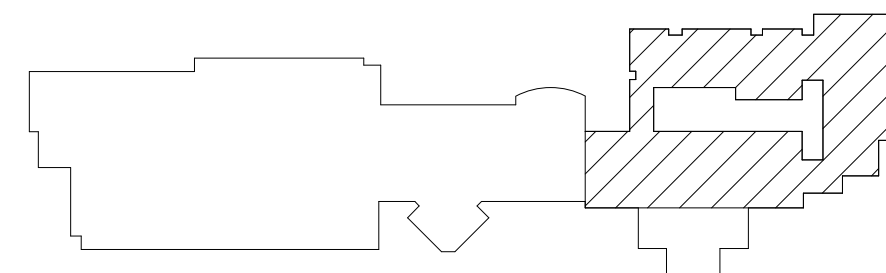
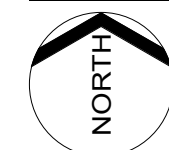
19200-3000

S.A2.1

Project Title

Catholic Central High School
STEM Building Addition27225 Wixom Rd.
Novi, MI 48374

Key Plan



Project Administrator

S. Moschelli

Project Designer

A. Latona/ N. Kothari

Project Architect / Engineer

M. Brown

Drawn By

L. Kulawczyk-Pringle

Q.M. Review

N. LaForest

Approved

B. Sundberg

Drawing Scale

As Noted

Issued for

Issue Date

Pre-App Submittal 10-08-21

PSP Submittal 11-05-21

ZBA Submittal 01-04-22

© 2021 INTEGRATED design SOLUTIONS, LLC

IDS Drawing Title

Second Floor New Work Plan

IDS Project Number

Drawing Number

19200-3000

S.A2.2

